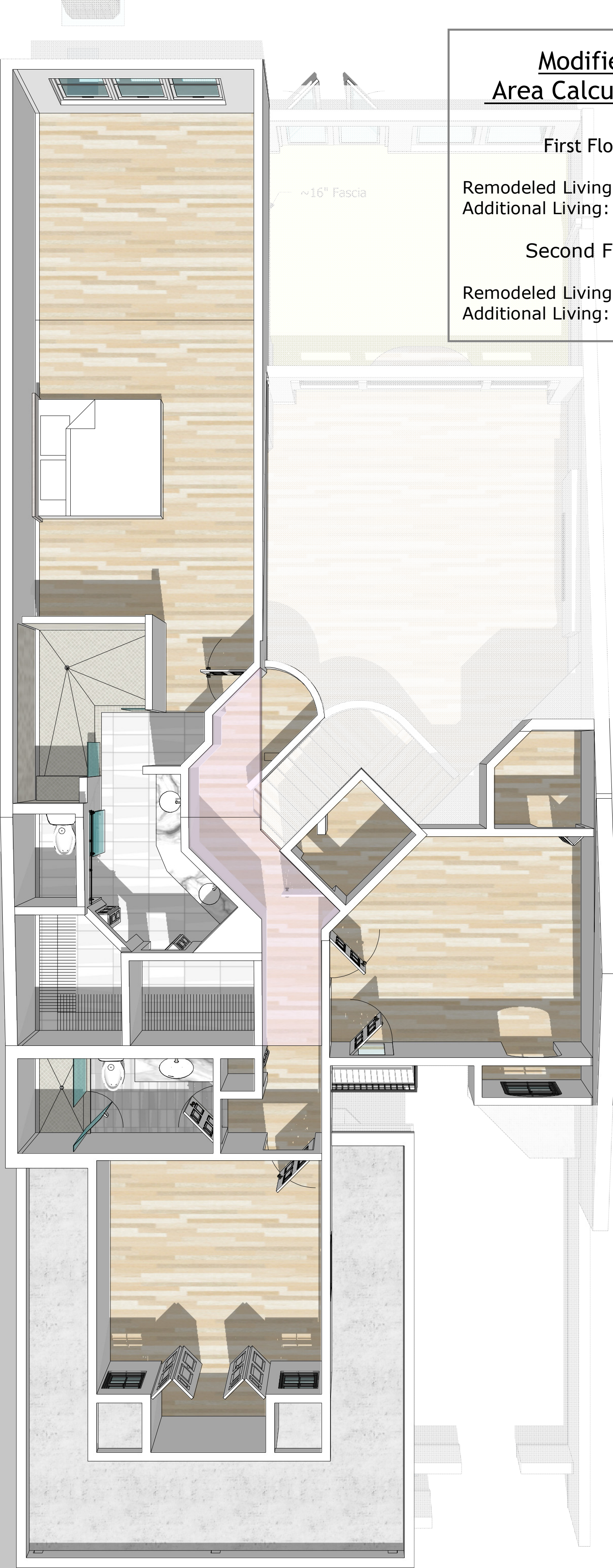
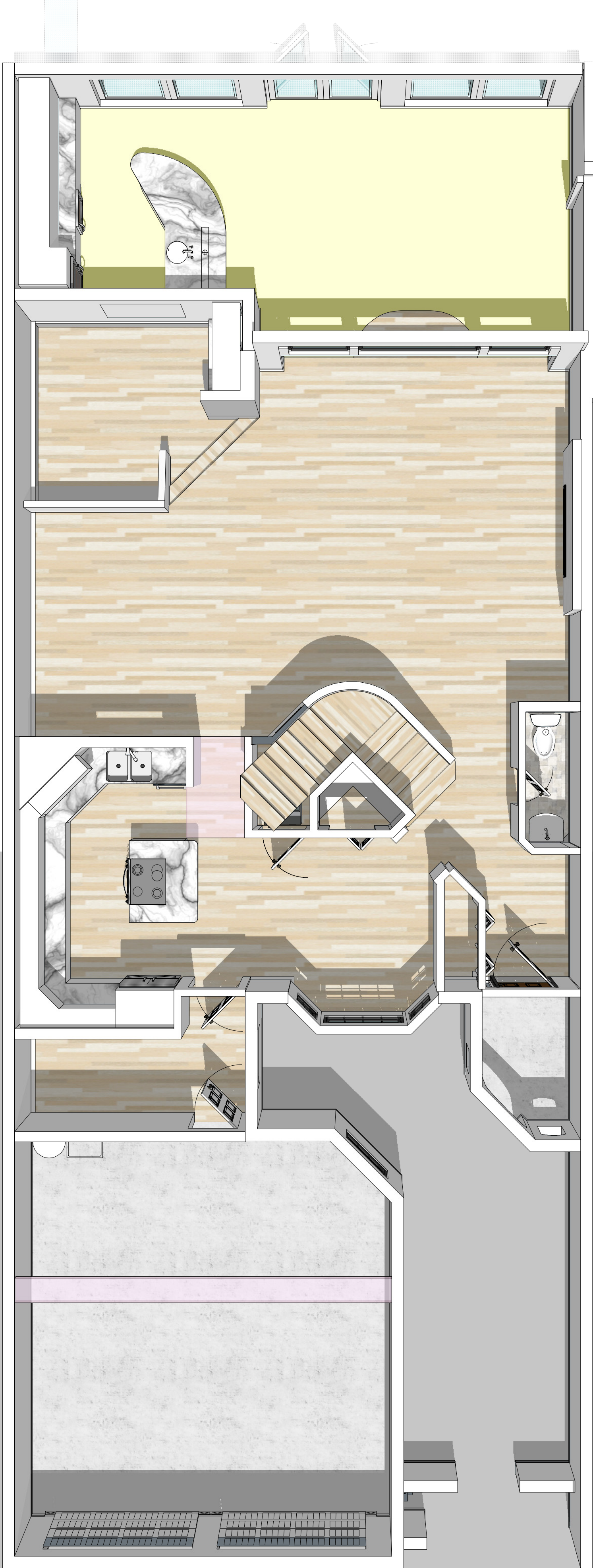


These construction plans were prepared to comply with Florida Building Code 7th Ed. (2020), 2017 NEC, & the Florida Fire Prevention Code 7th Ed. (2020).



Modified Area Calculations	
First Floor	
Remodeled Living:	970sf
Additional Living:	424sf
Second Floor	
Remodeled Living:	503sf
Additional Living:	160sf

Existing Area Calculations	
First Floor	
Living:	1252sf
Garage:	482sf
Entry Porch:	48sf
Rear Porch:	424sf
Second Floor	
Living:	1101sf
Rear Porch:	82sf
Balcony:	10sf
Totals	
Total Living:	2353sf
Total Area:	3399sf

Post Construction Area Calculations	
First Floor	
Living:	1676sf
Garage:	482sf
Entry Porch:	48sf
Rear Porch:	0sf
Second Floor	
Living:	1261sf
Rear Porch:	0sf
Balcony:	10sf
Totals	
Total Living:	2937sf
Total Area:	3477sf

General Structure Data:

Occupancy Type:	R-3
Construction Type:	V-B
Building Area:	3399sf



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G1 COVER PAGE

Scale 1/4" = 1'

PAGE NO

General Notes

- The intent of these documents is to include all work and items necessary for the completion of the work. Therefore, it does not matter whether the item is shown or not, all items necessary for the intended result must be provided.
- All material must be new without blemishes or defects of any kind.
- All work should be of the highest quality for the trade involved.
- Unless noted otherwise (uno), all work shall be guaranteed for a minimum of one year from the date of occupancy.
- General contractor and subcontractors must be currently licensed in the state of Florida to perform their trade.
- Owner must approve substitutions of any item.
- General contractor shall be responsible for the coordination and quality of workmanship by all trades. This includes proper installation of any roofing systems, flashings, sealants, secondary water proofing, and any other required resistance to water intrusion.
- General contractor must obtain and maintain liability insurance as required by contract until completion of the job.
- If any part of these documents is not clear, the general contractor or the subcontractor must ask the Engineer for clarification. Lack of understanding does not excuse improper installation or construction.
- These plans have been prepared in compliance with the latest edition of the Florida Building Code with current revisions.
- Dimensions should be used in lieu of scaling.
- All new exterior doors and windows shall be wind resistant and installed per manufacturer's specifications to ensure that they will meet wind load requirements.

Masonry

- Masonry construction shall conform to ACI 530 & 530.1, Building Code Requirements for Masonry Structures, ASN specifications. Masonry walls have been designed as reinforced masonry retaining walls.
- Concrete blocks shall conform to ASTM C 90 (28 days strength = 2000 Psi (net area), Fm = 1500 Psi) Laid in running bond with full mortar embedment.
- Mortar/Concrete/Grout shall be type M.
- Reinforce masonry walls vertically as indicated on plans. Use concrete for fill cells.
- Fill one cell at each jamb full height with grout and (1) #5 rebar.
- All vertical reinforcing shall be provided as indicated and shall be installed as follows:

Provide clean-out space at bottom of each reinforced cell (at location of reinforcing steel dowel in foundations or previous concrete placement) Install vertical steel and to dowel at bottom and tie in place at top. Close clean out opening and fill with 3000 psi grout.

- Continuous bond beams shall be provided as shown on the wall section(s).
- All reinforcing steel shall conform to ASTM A615 Grade 40.
- Continuous 8" deep bond beam with (1) #5 continuous at the bottom of the windows, and above lintels.

Roof Notes

- The roof trusses shall be sheathed with 7/16" OSB or 1/2" CDX plywood and anchored with 8d ring shank gun nails at 6" o.c. Nail sheathing into gables 4" o.c. and within 48" of ends and ridges and brace all trusses per BSCI-B1.
- Contractor to provide roof vent that complies with Florida Building Code section R806
- Galv (26 ga min) or alum flashing shall be used at gutters, wall & roof intersections, roof slope changes, & roof openings. Use of weep screeds, control joints, or expansion joints shall be used to drain moisture. Only workers who understand proper installations of any water barriers, including flashings and sealants, shall be used.
- For tile roof use 30# dry in, 90# felt and hot mop w/ screw down installation per Roof Tile Institute System Two, UNO. Install tile roof system in accordance w/ FRSA/TRI per FBC 1507.3.7 & FBCR 905.3.

Framing Notes

- Structural lumber shall be 2X4 SPF Grade 2 minimum. Stud spacing on interior and exterior bearing walls shall be 16"oc UNO. Walls shall be anchored with 1/2" dia. anchor bolts, 10" long spaced 48"oc UNO.
- 2X studs at 16" O.C. shall be used for interior partition walls. Stud spacing for all walls shall not exceed 16"oc.
- When manufactured wood connectors are used, framing contractor is to follow manufacturer's recommendations as to quantity and size of nails. If engineer specified connector will not work in field, please contact engineer for substitution.
- Supplier of pre-engineered trusses shall provide roof truss plans sealed by a Florida Registered Professional Engineer.

Concrete

- All concrete shall be as designed to develop a compressed strength as follows: foundations 2500 psi
- All reinforced steel shall be deformed bars conforming to ASTM A-615 Grade 60
- All concrete reinforcement shall be detailed, fabricated, labeled, supported and spaced in forms and secured in place as per building code requirements for reinforced concrete. ACI 318-19 and the manuals of standard practice for detailing reinforced concrete structures, ACI 315 latest edition.
- All #5 bar splices and dowels shall lap 25 inches unless noted otherwise; and all #3 Bar splices and dowels shall lap 15" unless noted otherwise.
- Unless otherwise permitted or specified, the concrete shall be proportional and produced to have a slump of 3" minimum and 5" maximum immediately after depositing.
- Welded wire fabric shall conform to ASTM-185. Fibermesh may be used in lieu of WWF or vice versa.
- Minimum concrete protection for reinforcing bars:

structural part cover minimum clear footings, (concrete cast against and permanently exposed to earth) 3 inches

Footing and walls (concrete cast in forms permanently exposed to earth) 2 inches

slab (in contact with earth) 2 inches

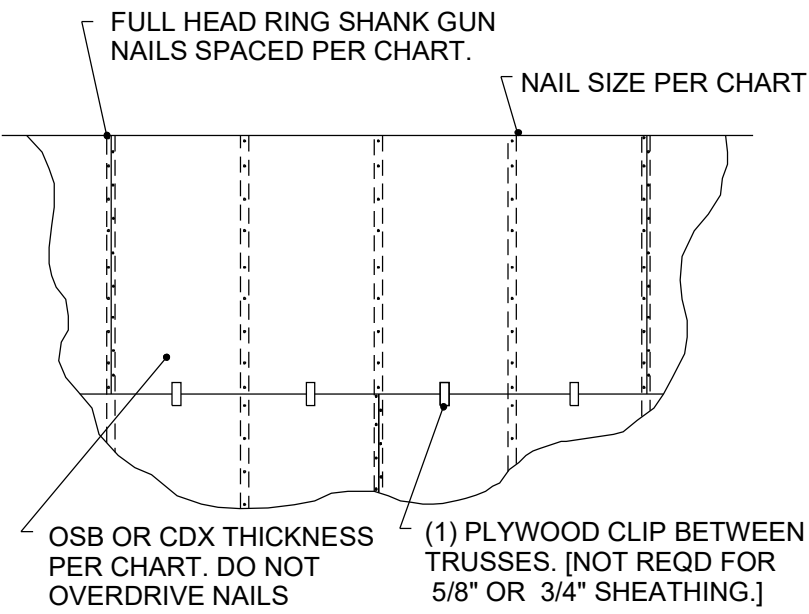
beams (to stirrups) 2 inches

columns (to ties) above grade 2 inches

- Foundations and slabs on grade are designed to bear on soil with minimum safe bearing capacity of 2000 P.S.F. It is highly recommended that a soils analysis and compaction test be performed prior to construction. It is the responsibility of the contractor to provide the required capacity under all foundations and slabs.

Precast Concrete Lintels

- All precast concrete lintels shall have a minimum bearing of 8" ion each side.
- Lintels over openings larger than 14'-0" must be pre-stressed.
- All lintels are to have 1 #5 bar (2 #5 bars for openings over 10'-0") and concrete poured in lintel cavity, unless noted otherwise.
- Lintels to be Cast-Crete or equivalent.

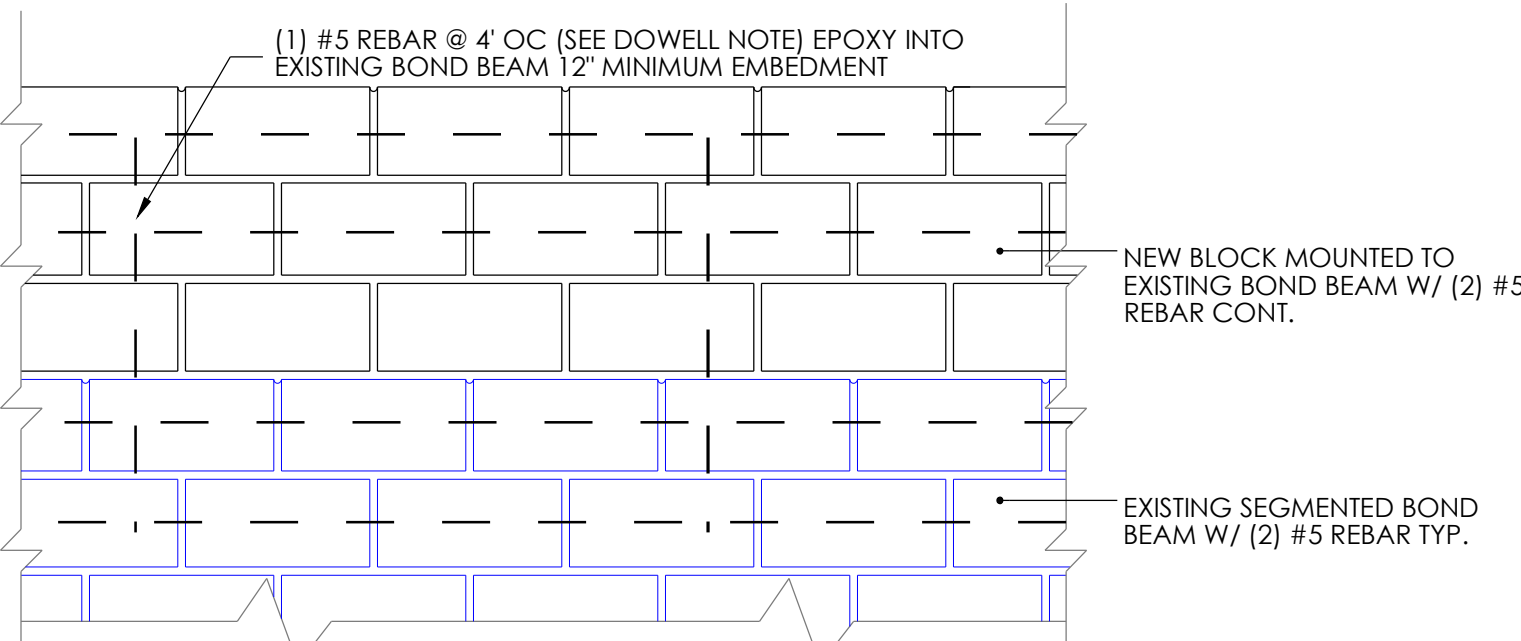


USE 8d GUN NAILS FOR SHEATHING 15/32\"/>

MPH	EXPOSURE B				EXPOSURE C				EXPOSURE D			
	SHEATHING THICKNESS (IN)	SPAN RATING (IN)	NAIL SPACING (IN)		SHEATHING THICKNESS (IN)	SPAN RATING (IN)	NAIL SPACING (IN)		SHEATHING THICKNESS (IN)	SPAN RATING (IN)	NAIL SPACING (IN)	
			E	F			E	F			E	F
140	7/16	24/16	6	6	19/32	40/20	6	6	19/32	40/20	6	6
150	15/32	32/16	6	6	19/32	40/20	6	6	19/32	40/20	4	4
160	19/32	40/20	6	6	19/32	40/20	6	6	19/32	40/20	4	4
170	19/32	40/20	6	6	19/32	40/20	4	4	23/32	48/24	4	4
180	19/32	40/20	6	6	23/32	48/24	4	4	23/32	48/24	4	4

TYPICAL NAILING SCHEDULE

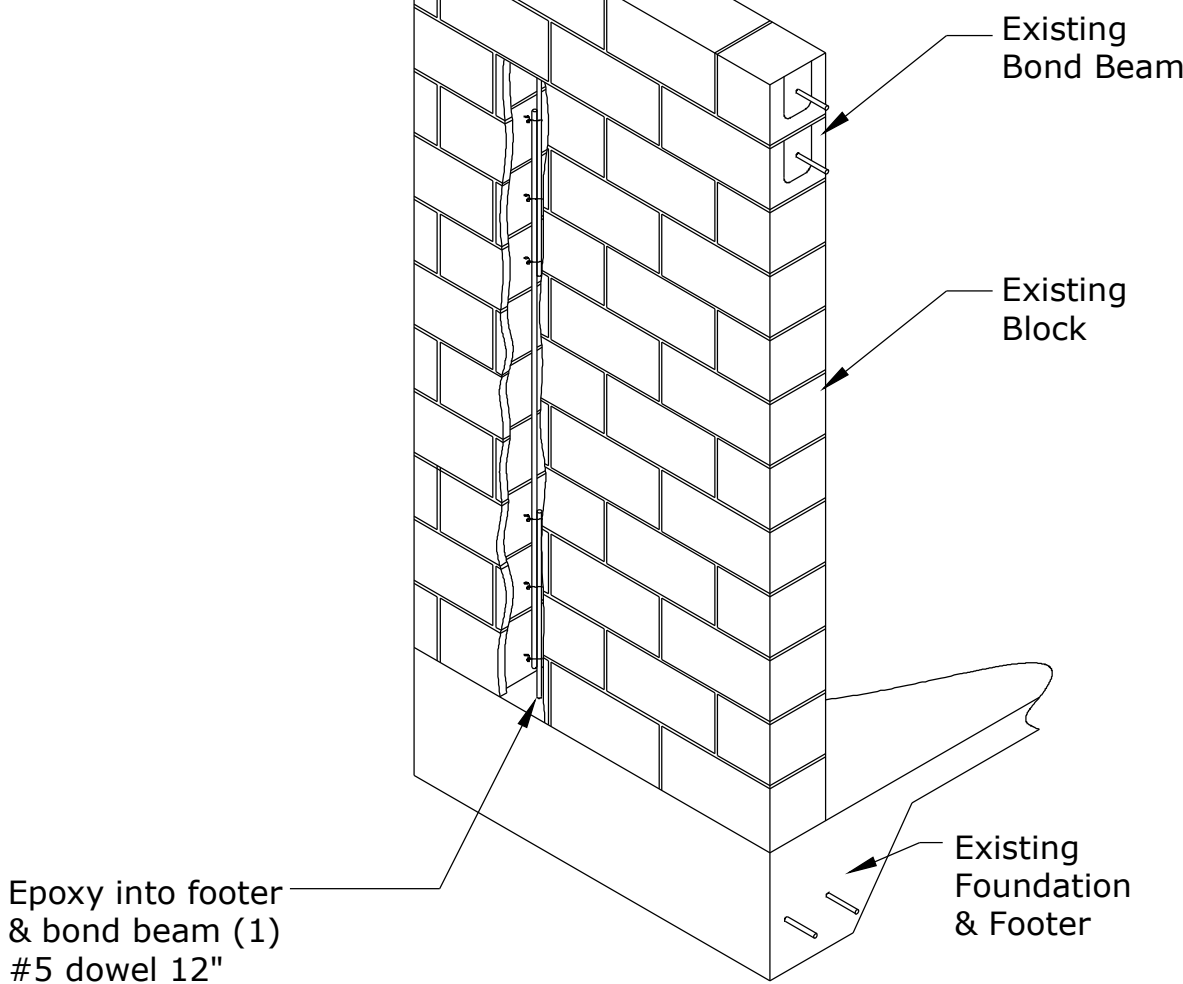
NAILSCHEDULE.dwg 13MAY21 SEK SCALE: NTS



BLOCK KNEEWALL

SCALE: NTS

Break block out on one side from footer to bond beam. Install rebar. Cover with plywood leaving a 6" opening at top for filling and at bottom for cleanout. Fill with concrete and allow time for curing, then remove plywood.



Existing Block Retrofit - Poured Cells

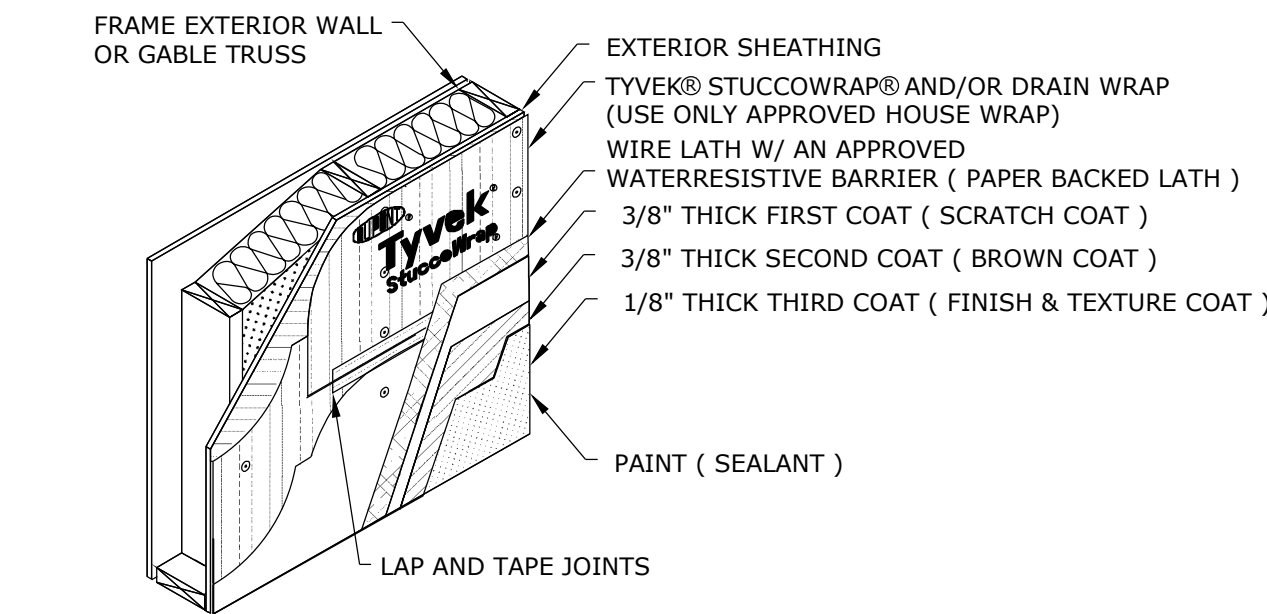
Scale: NTS

Wind Load Notes

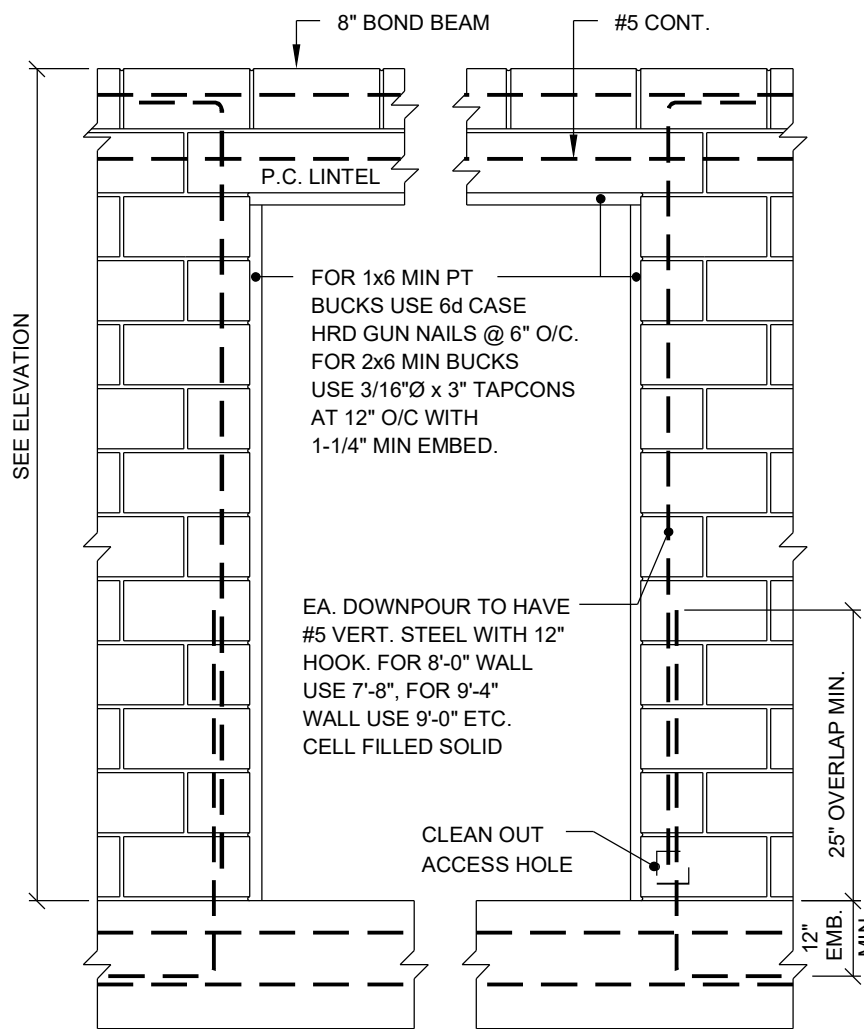
These plans prepared to comply with FBC latest edition (see G1).

- Ultimate Design Wind Speed: 150mph
- Exposure Category: C
- All new structures and openings on this plan are designed as fully enclosed.
- According to ASCE 7, this structure occurs within the wind-bourne debris region. Protection of openings is required.
- All new exterior doors and windows must be installed per manufacturer's specifications to ensure that it will meet design wind load requirements.
- Exterior doors and windows shall comply with testing and labeling requirements of FBC.
- Roof live load = 20 PSF Floor live load = 40 PSF
- Internal Pressure Coefficient: +/-0.18

WOOD FRAME STRUCTURE w/STUCCO



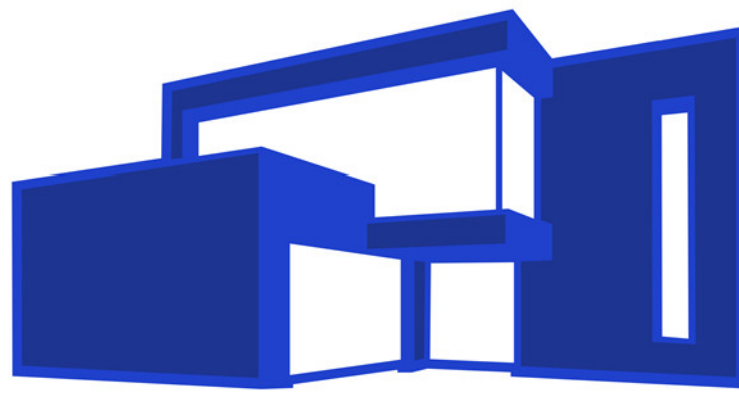
STUCCOED FRAME EXTERIOR WALLS & GABLE END TRUSSES ARE PER ASTM C 926 & ASTM C 1063. APPLY PAINT/SEALANT ON STUCCO APPLIED TO LATH OVER ONE LAYER OF A STATE APPROVED WATER RESISTANT BARRIER OVER AN APPROVED HOUSE WRAP PER FBC R703.7.3. USE OF WEEP SCREDS, CONTROL JOINTS, OR EXP. JOINTS SHALL BE USED TO DRAIN MOISTURE. ONLY WORKERS WHO UNDERSTAND PROPER INSTALLATIONS OF ANY WATER BARRIERS INCLUDING FLASHINGS & SEALANTS SHALL BE USED.



0902  
13MAY06

DOOR/SLIDER BUCK AND REBAR DETAIL

SCALE: NTS



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Project  
DESIGNER  
Chris Feddersen

REVISIONS

Description

Date

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G2 NOTES & DETAILS

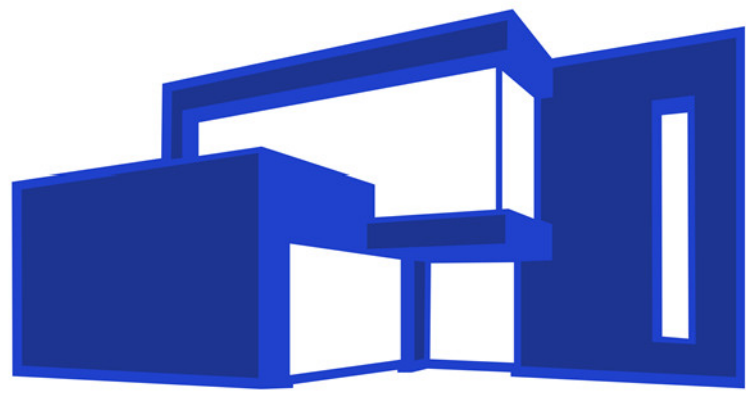
Scale



NTS

PAGE N2

02



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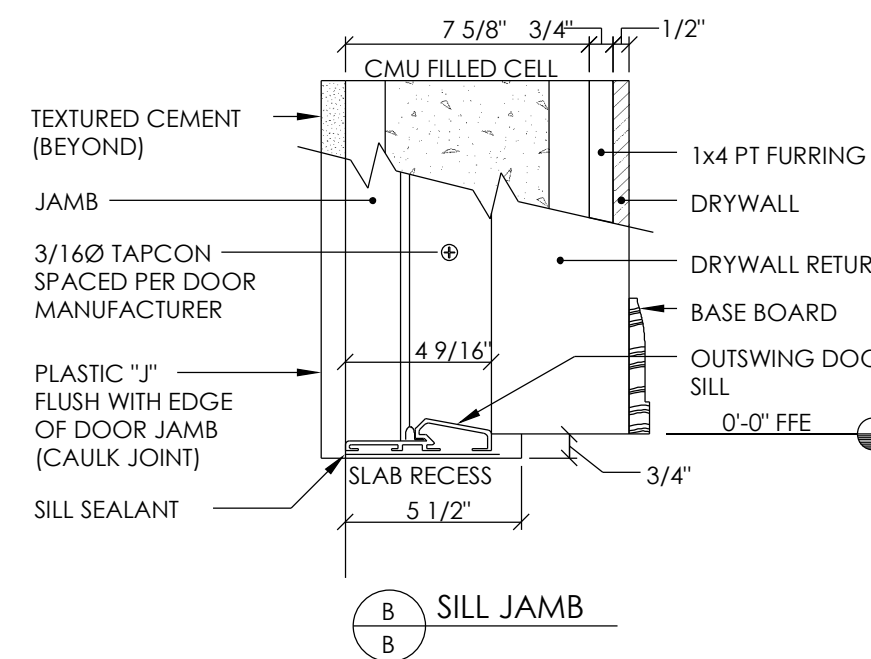
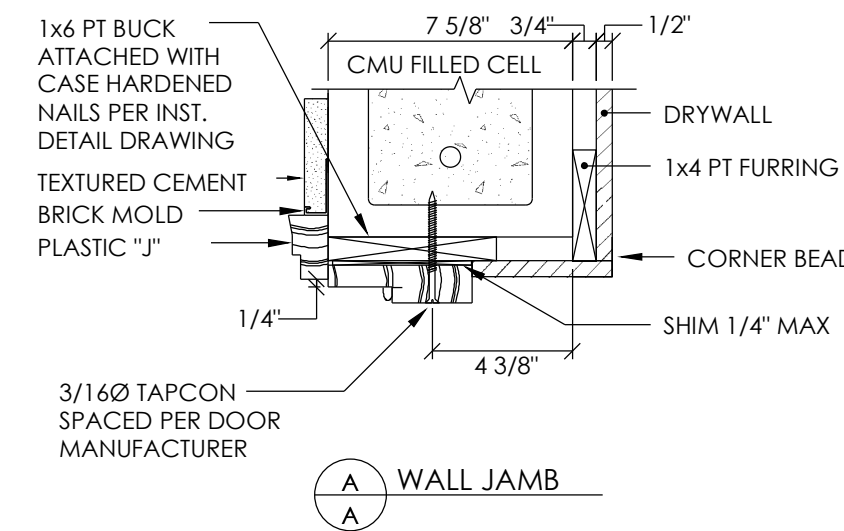
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G3 NOTES & DETAILS

Scale ◆ NTS

PAGE NO.

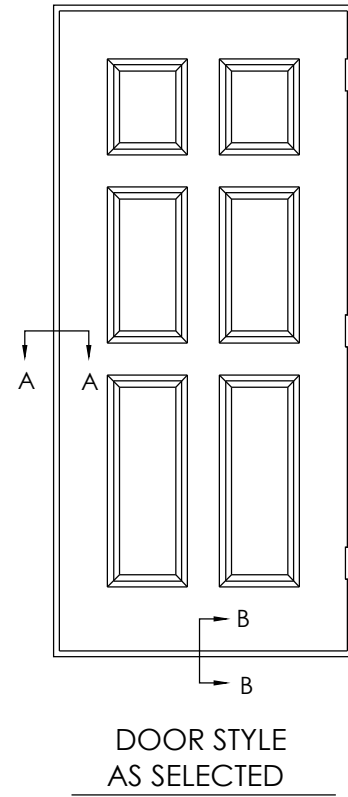
03



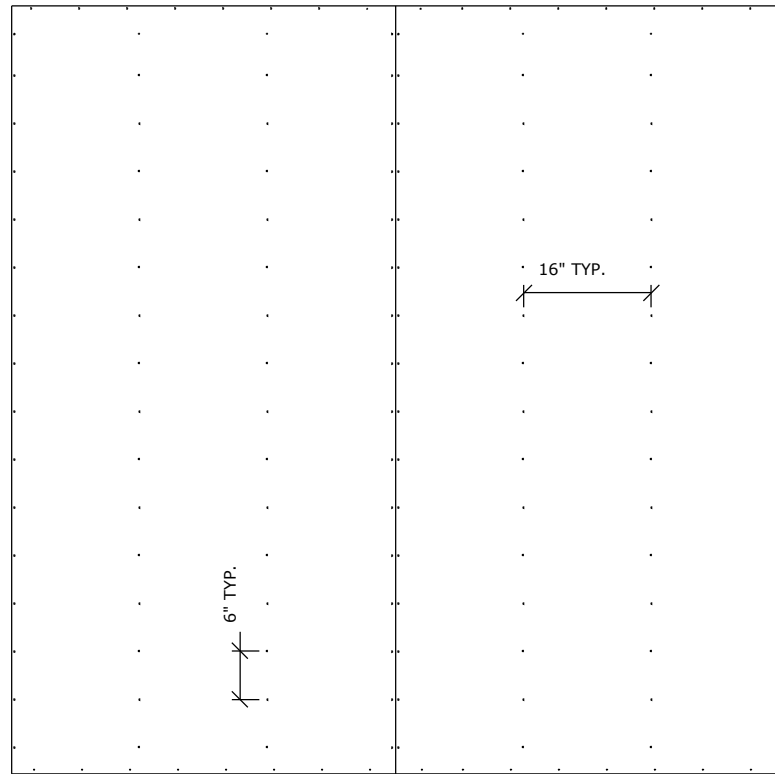
CMU OUTSWING DOOR JAMB DETAILS

(FLUSH WITH EXTERIOR WALL)

SCALE: NTS



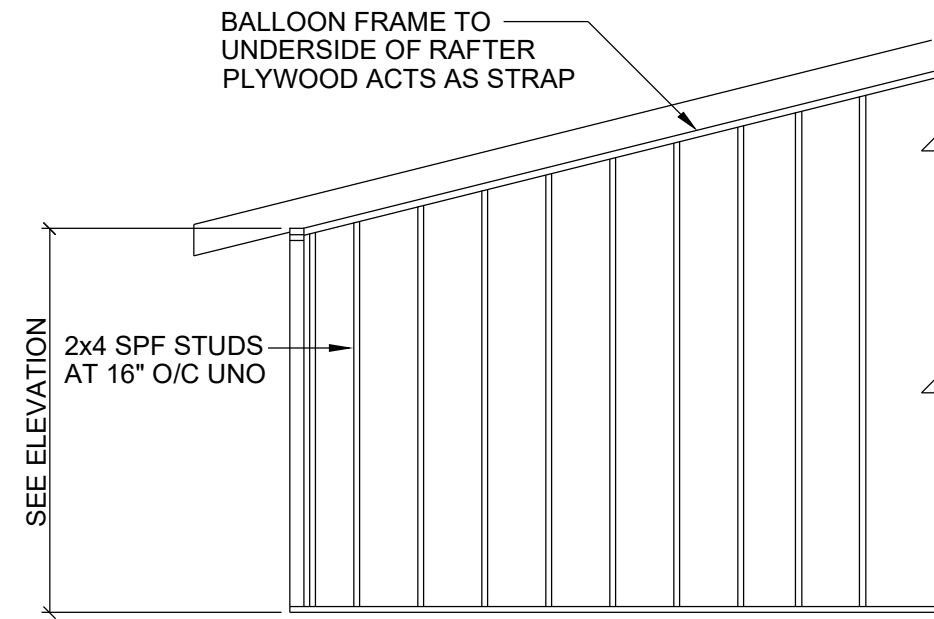
DOOR STYLE  
AS SELECTED



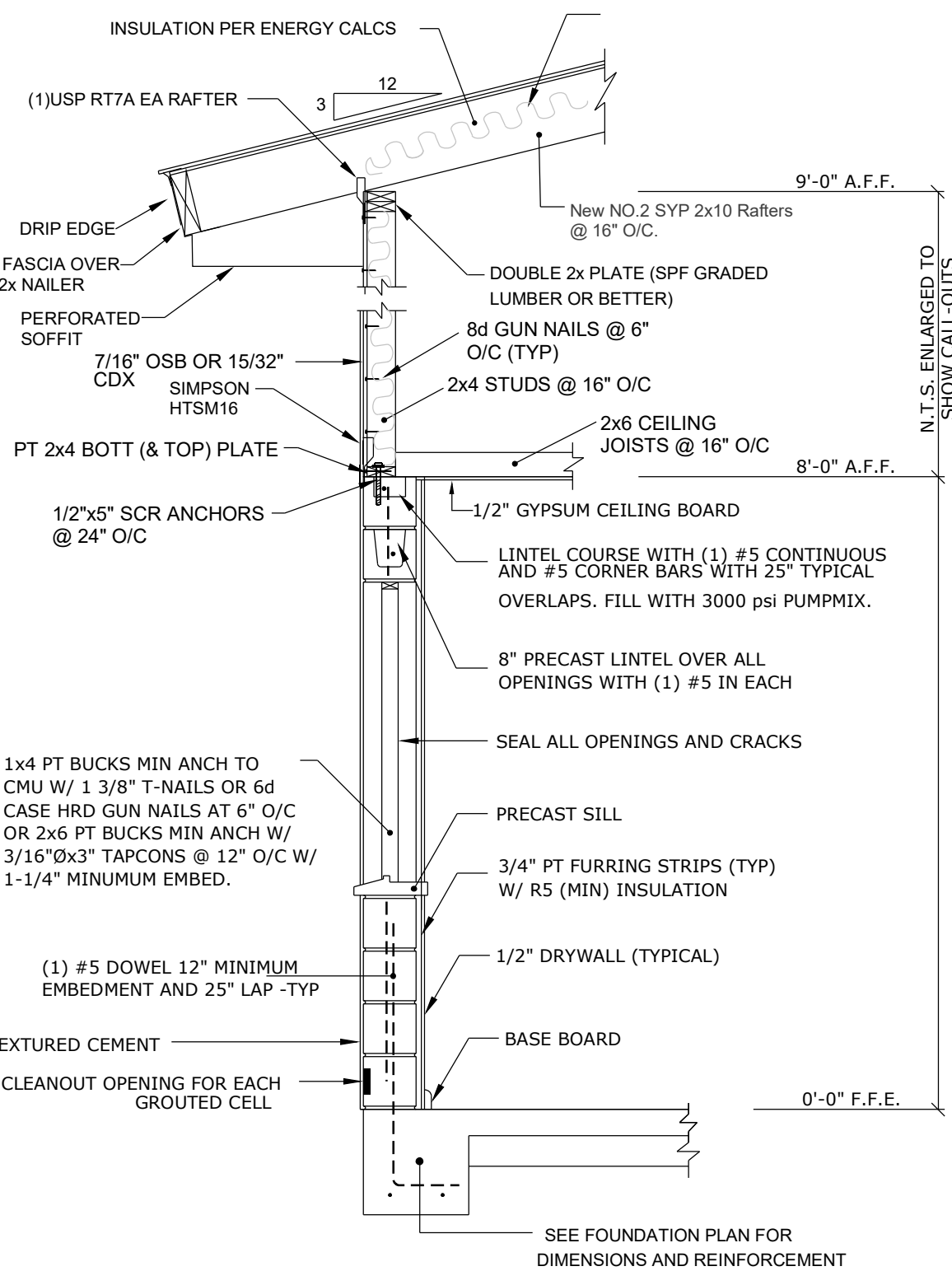
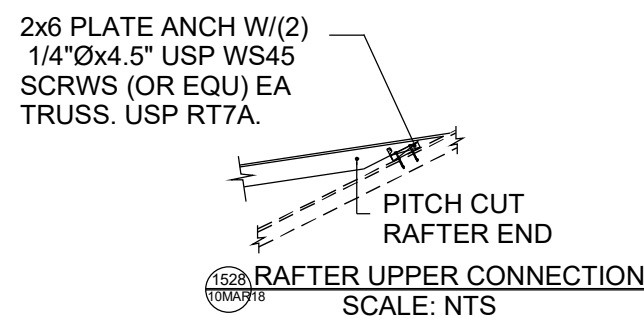
USE 8d GUN NAILS (2" x .113"Ø MIN.) SPACED 6" O/C.  
PLACE NAILS 3/8" MIN. FROM EDGES & 2" MIN FROM CORNERS.  
PROVIDES 200 pif OF SHEAR STRENGTH.

7/16" OSB SHEAR SPECIFICATIONS

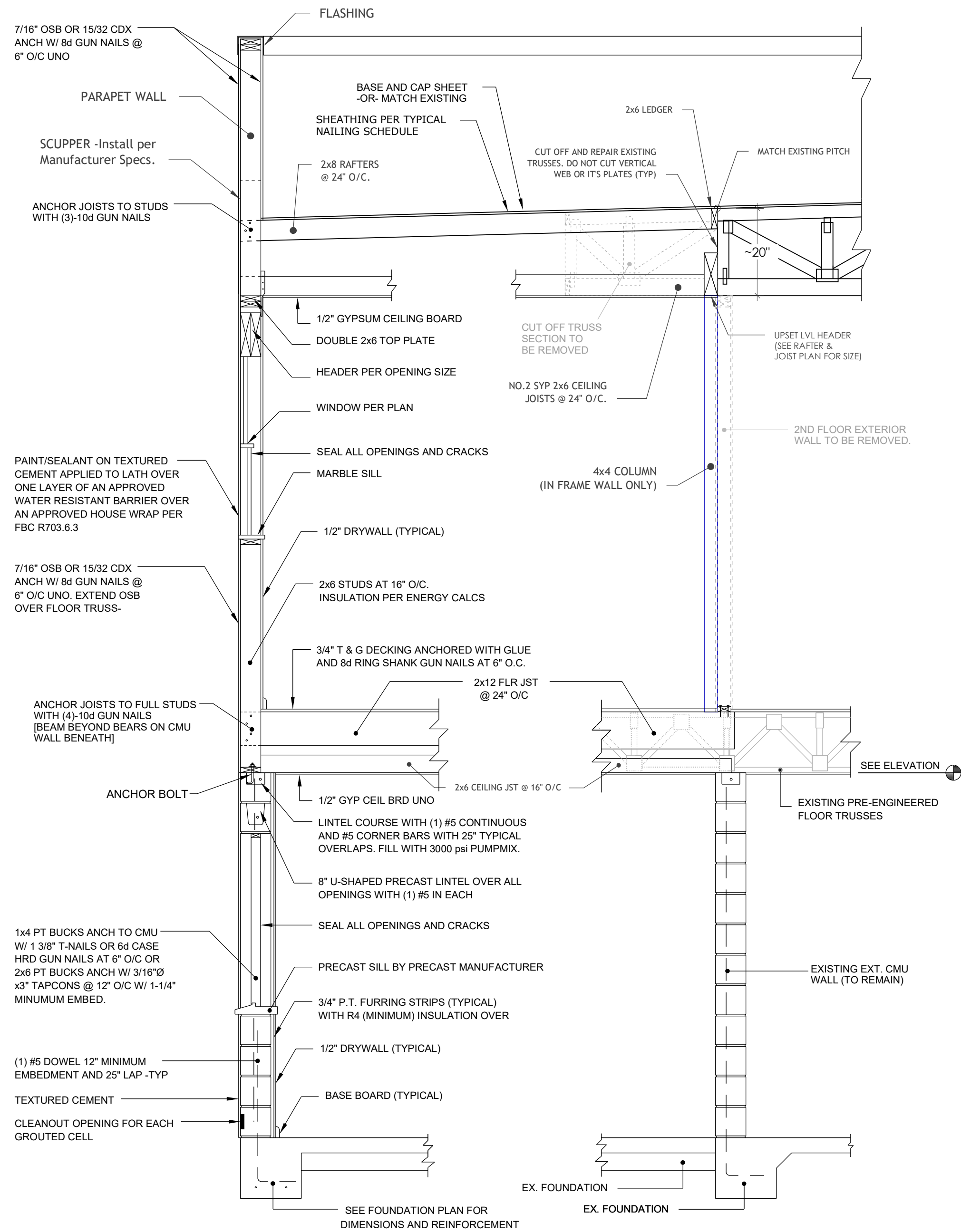
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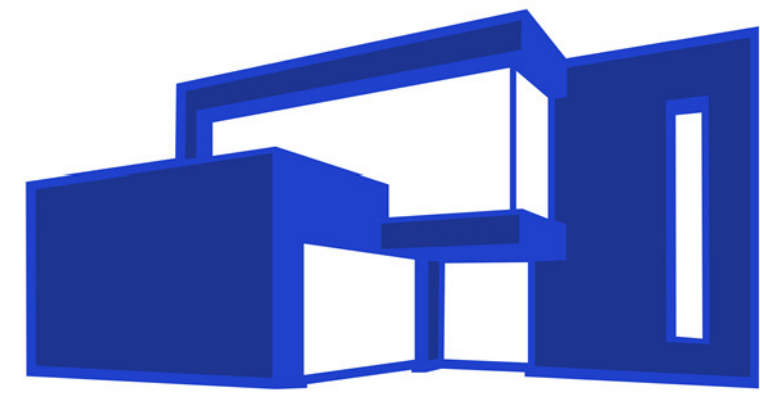
BALLOON FRAMED GABLE END  
SCALE: NTS



TYPICAL WALL SECTION  
SCALE: NTS



TWO STORY ADDITION  
WALL SECTION  
SCALE: NTS



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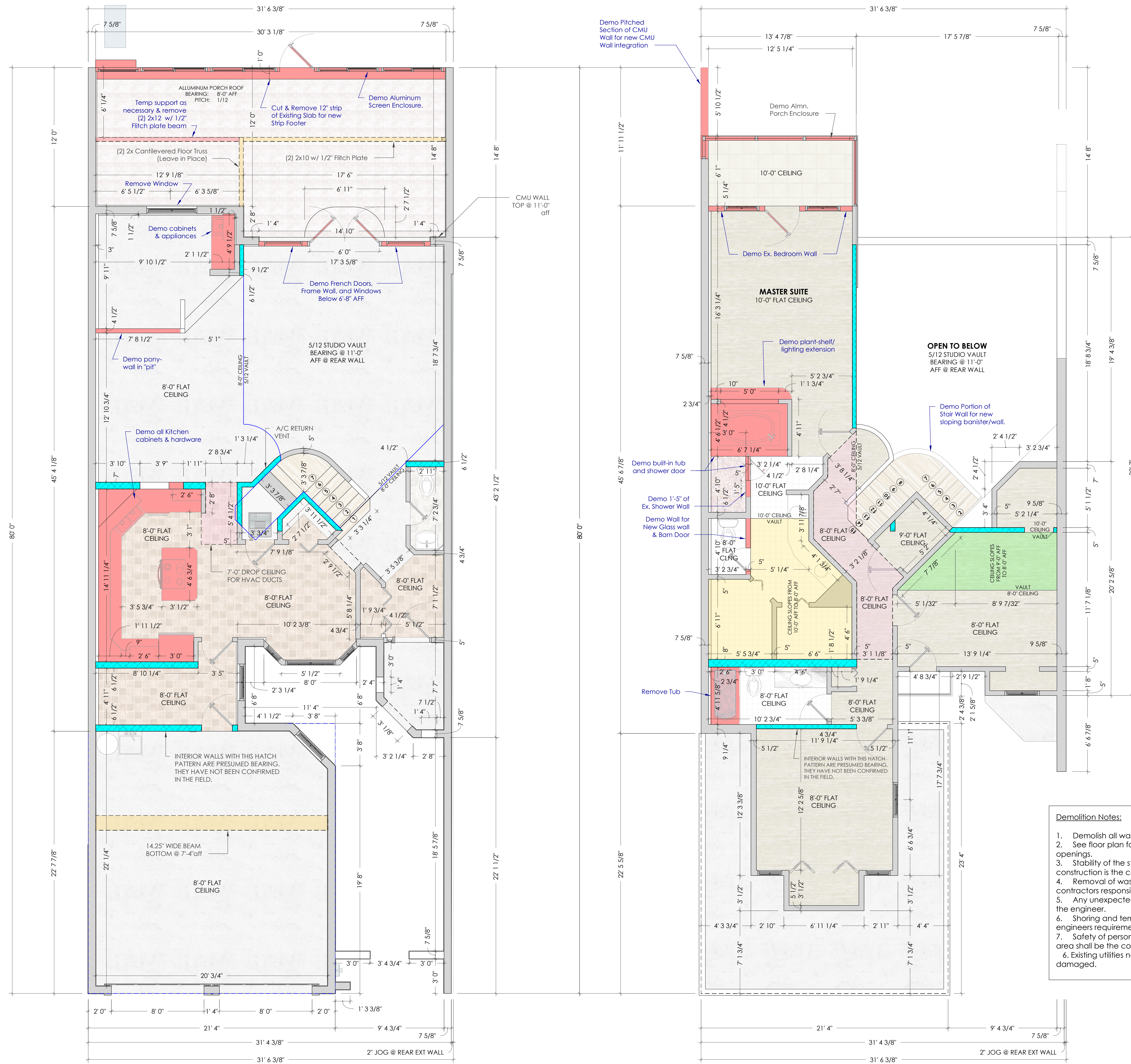
FIELD CONDITIONS, PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED IN THESE PLANS. DEMO INTENT IS PARANOID. PLAN DIMENSIONS ARE MORE ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSTRAINTS CREATIVITY.

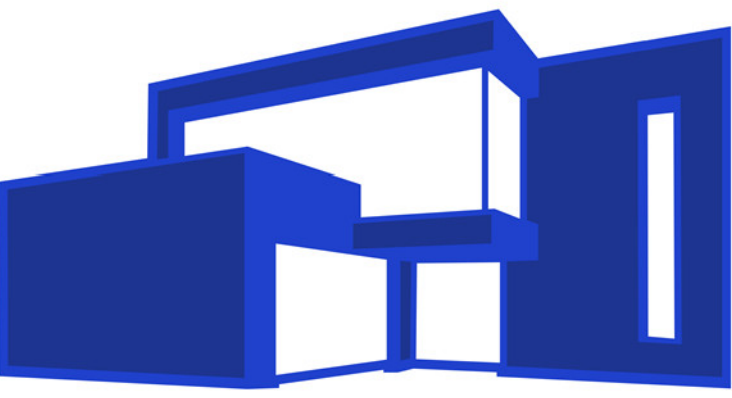
D1 DEMO PLAN  
1ST & 2ND FLOORS

Scale  $\blacklozenge$  1/4" = 1'

PAGE NO

04





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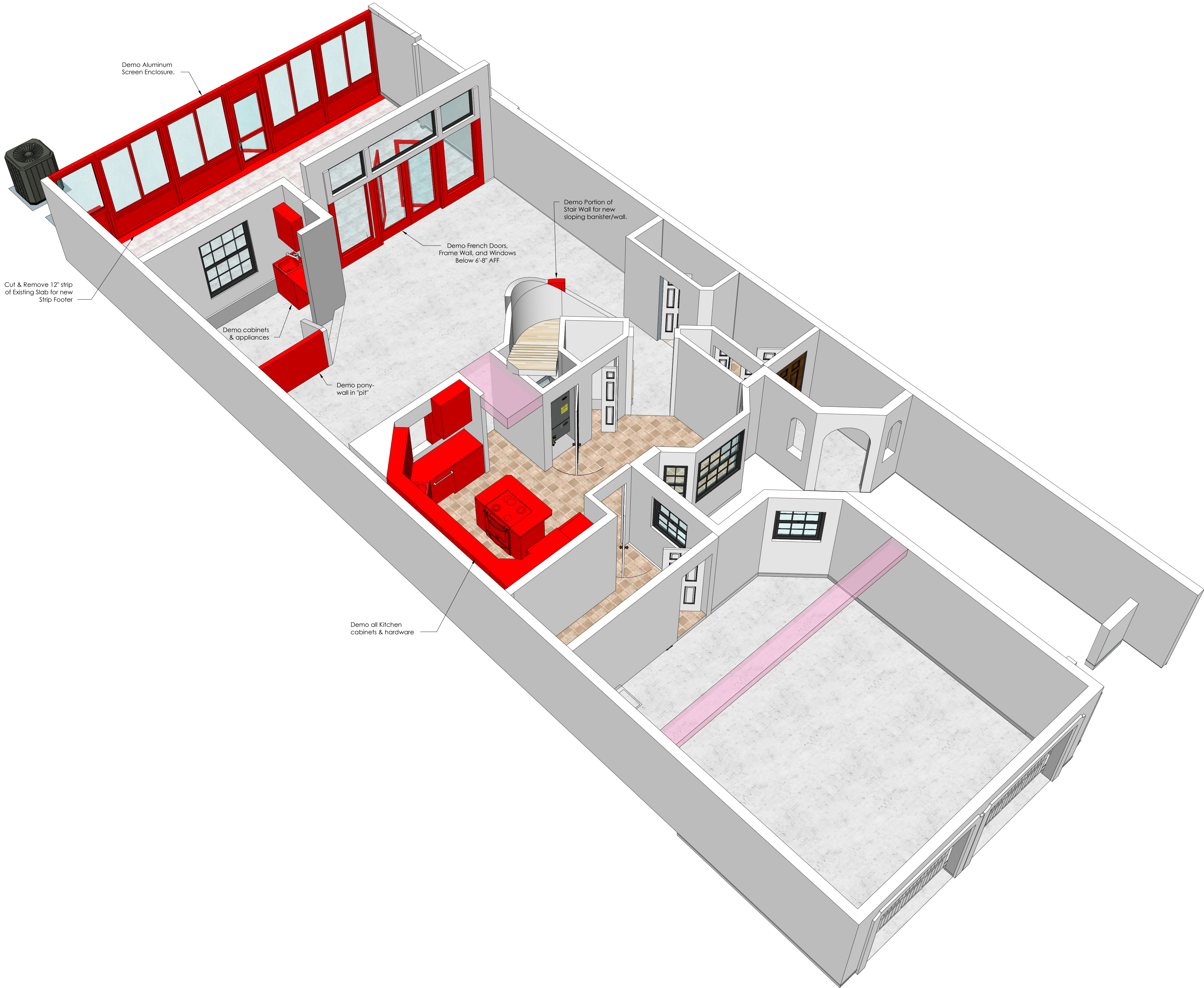
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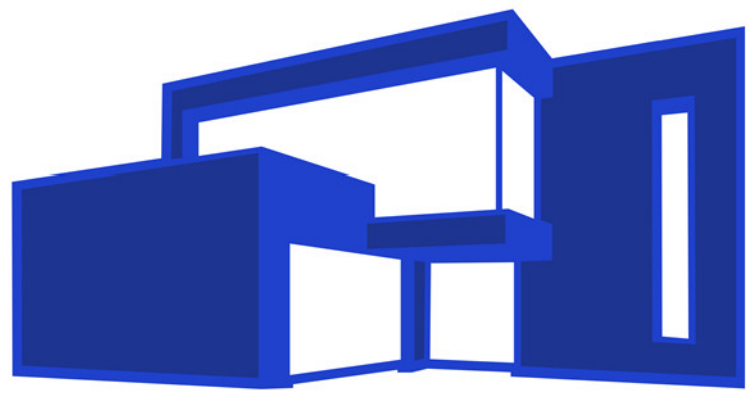
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D2 DEMO PLAN  
3D FIRST FLOOR

Scale ◆ NTS

PAGE NO.





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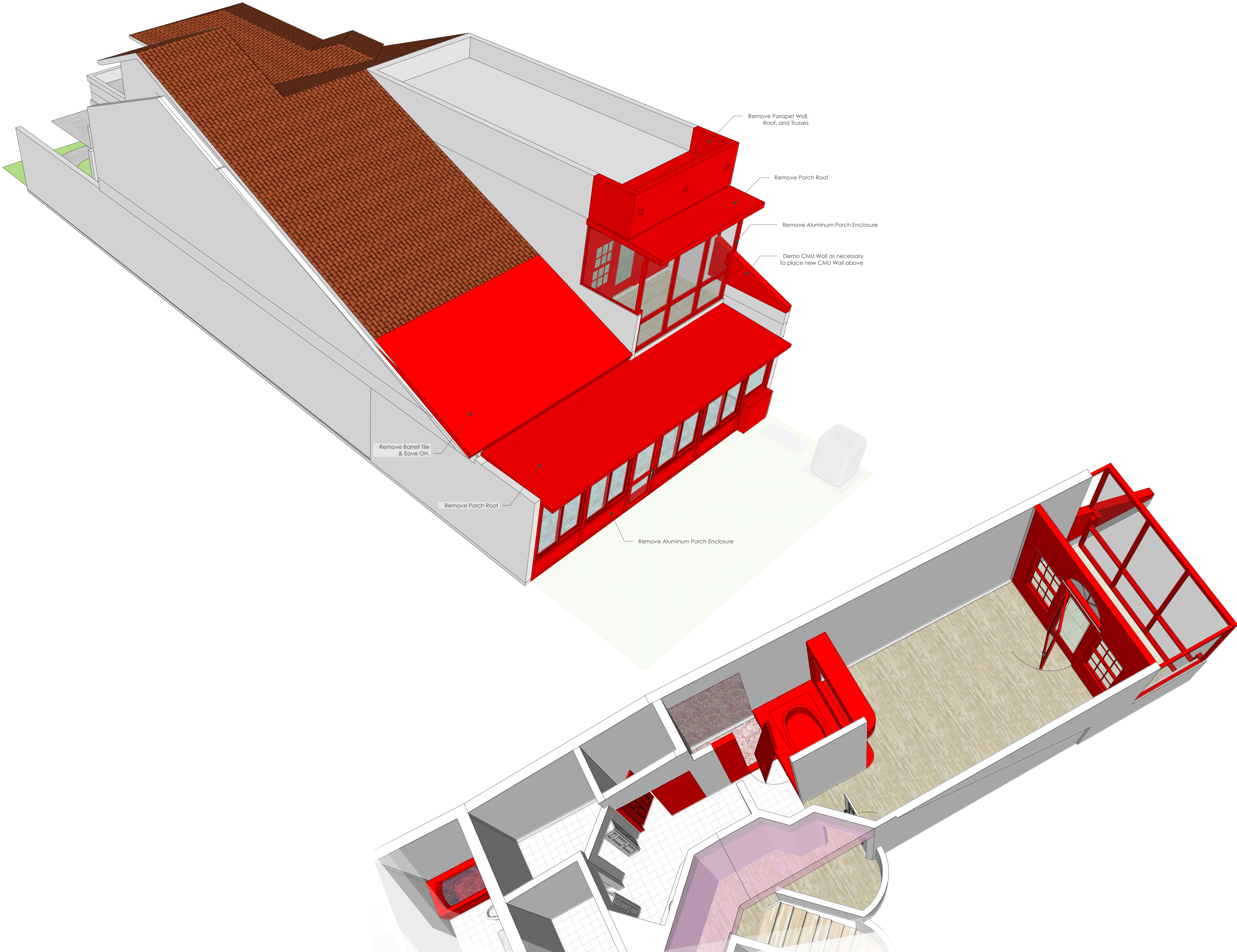
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D3 DEMO PLAN  
2nd Floor & Roof

Scale    ◆    1/4" = 1'

PAGE NO.

06





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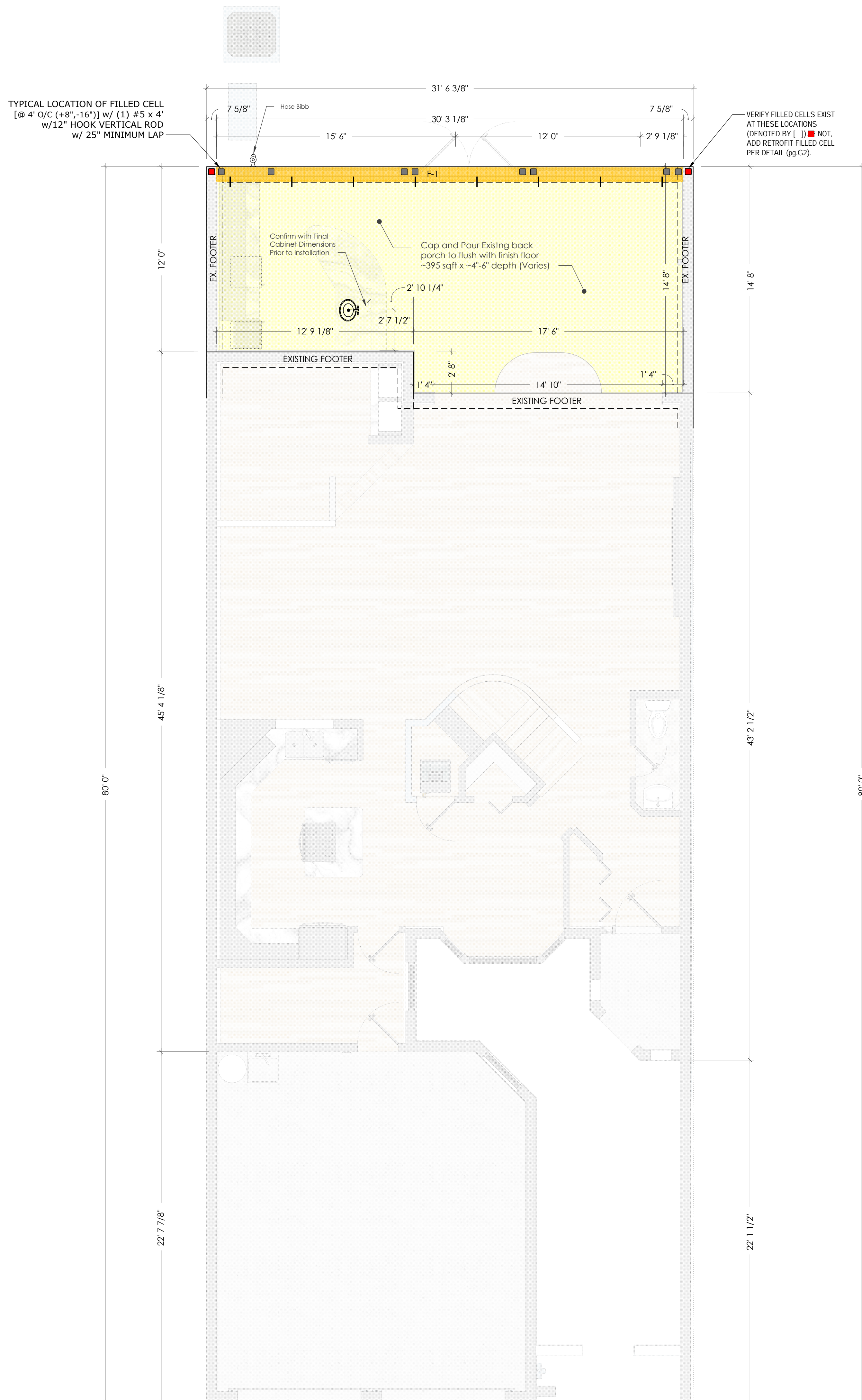
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A1 FOUNDATION PLAN

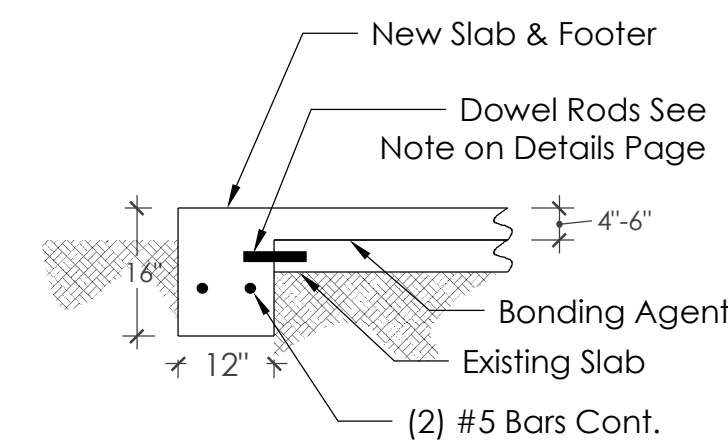
Scale        1/4" = 1'

PAGE NO.

07



DOWEL.dwg	DOWEL ROD REINFORCEMENT:	10FE17
<ul style="list-style-type: none"> <li>• TO ANCHOR NEW MASONRY WALL AND/OR SLAB CONNECTION TO EXISTING, DRILL 4" (MIN) AT 24" O/C (MAX) INTO CMU AND/OR CONCRETE (NO CLOSER THAN 1- 1/2" FROM EDGES), REMOVE DUST PER MFRGS SPECS &amp; USE 2- PART EPOXY TO ANCHOR #3x8' DOWELS IN PLACE.</li> <li>• FOR NEW MONO FOOTING TO EXISTING USE (2) #5x30" DOWELS FOR CONTINUOUS STEEL TIE OFF.</li> <li>• FOR NEW BOND BEAM USE #5x30" DOWELS FOR EACH UNTEL COURSE AS APPLICABLE</li> <li>• ADD FILLED CELL TO EXISTING BLOCK WALL AT CONNECTION TO NEW CMU CONSTRUCTION WHERE ONE IS NOT ALREADY PRESENT.</li> </ul>		



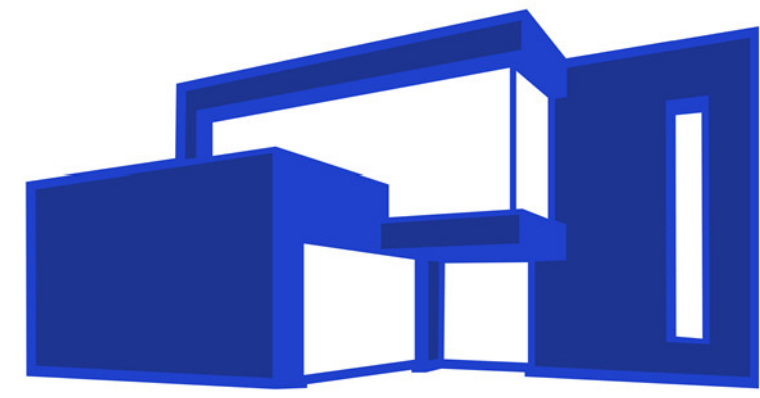
F-1: New Footer @ Existing Slab  
Scale: 1/2"=1'

**Footer Notes:**  
All footers will be placed over 6 mil moisture barrier on well compacted, termite treated soil. All concrete used for slab and footers must be  $f_c = 2500 \text{ psi}$  @ 28 days. All footings must extend 12" below grade and a minimum of 4" above grade

**SOIL CONDITIONS**

ENGINEER HAS NOT BEEN ON SITE NOR HAS RECEIVED ANY DATA, INFORMATION OR REPORTS. IT IS ASSUMED THE SOIL CONDITIONS ARE CONSIDERED NORMAL AND NO PROBLEMATIC SOILS ARE PRESENT. OWNER IS RESPONSIBLE FOR ANY KNOWN OR UNKNOWN SOIL CONDITIONS AND ANY REQUIRED BORINGS OR NECESSARY NOTIFICATION IMMEDIATELY OF ANY UNSUAL SITE SUBSTRATE CONDITIONS. CONTRACTOR FROM TEST BORINGS, SUCH AS DIFFERENT SOILS ENCOUNTERED, SEEPAGE OR PRESENCE OF WATER IN THE SOIL, SHALL BE RESPONSIBLE FOR DETERMINING BEARING CAPACITY OR IF IT HAS NOT BEEN DETERMINED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PLACING CONCRETE, REMOVE & DISPOSE OF ALL ORGANIC & UNSATISFACTORY SOIL, BACKFILL SHALL BE 100% CRUSHED GRANULAR MATERIAL TO GW, GP, SW, OR SP PER ASTM D2487.

COMPLETE ALL BACKFILL MATERIAL TO 80% OR MAX DENSITY PER AASHTO T-99. CONTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION & MAINTENANCE OF ALL REMEDIATION. A GEOTECHNICAL CERTIFIED TESTING LAB SHALL BE ENGAGED BY THE OWNER TO VERIFY THAT THE REQUIRED REMEDIATION REQUIREMENTS HAVE BEEN



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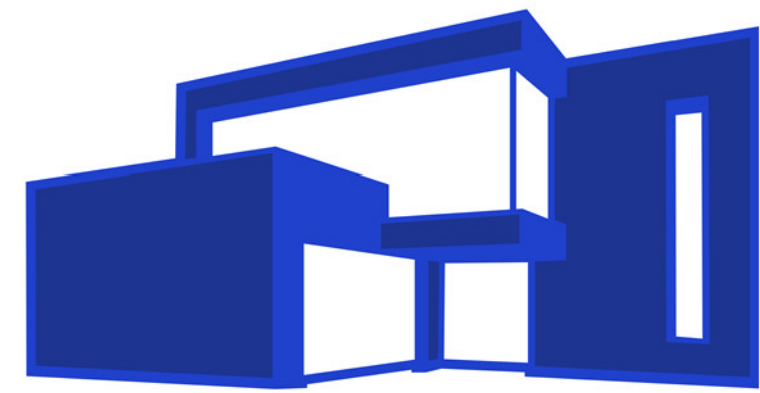
A2 FLOOR PLAN  
1ST & 2ND FLOORS

Scale  $\blacklozenge$  1/4" = 1'

PAGE NO.

08





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Description	

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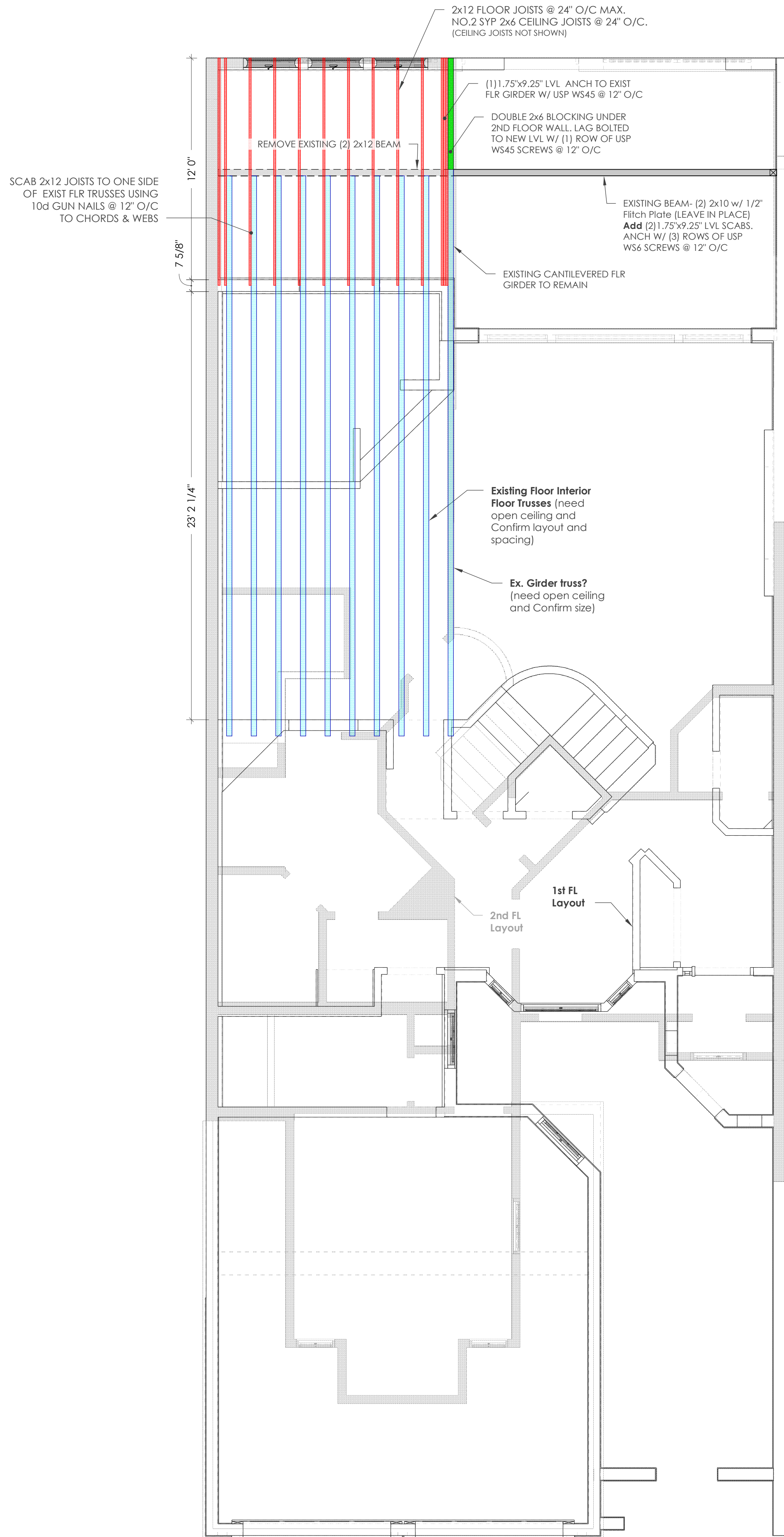
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A3 RAFTER  
& JOIST PLAN

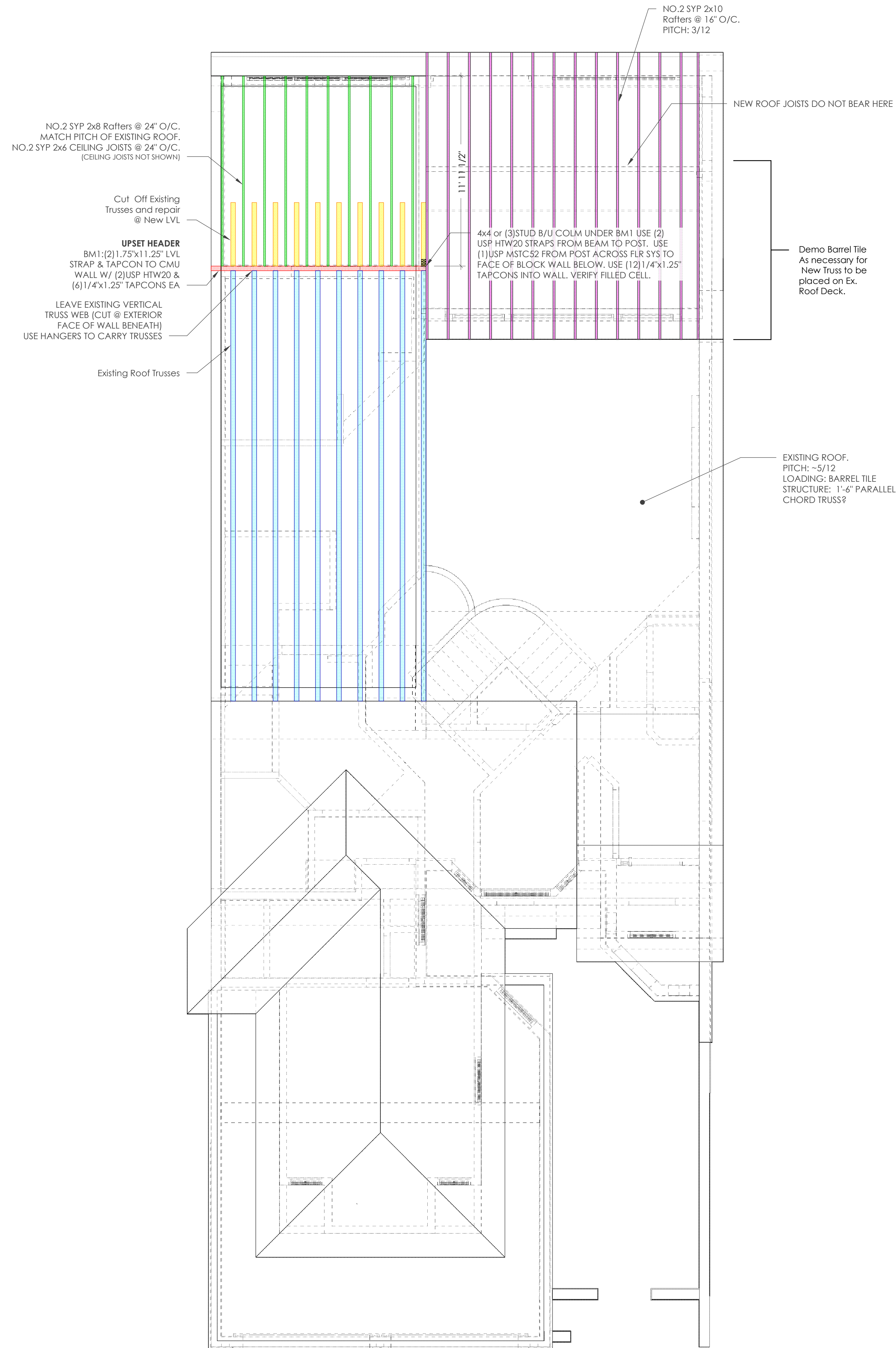
Scale 1/4" = 1'

PAGE NO.

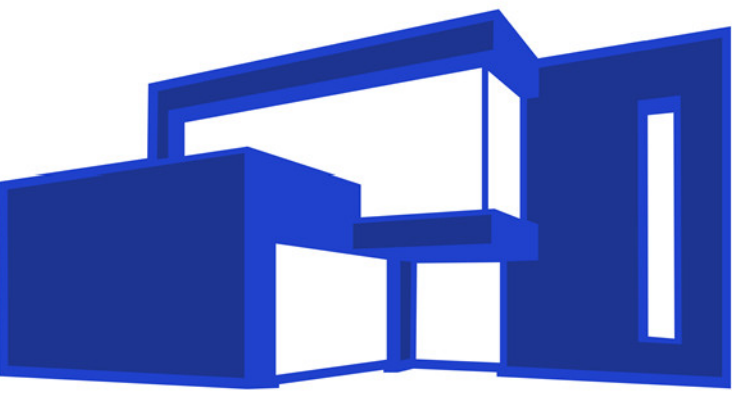
09



Joist Plan



Roof Plan



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DESIGNER  
Chris Feddersen

# Townhome Remodel & Addition

STRUCTURAL ONLY

## REVISIONS

Description

Date

→ When it's all done ←

YOU'RE GOING TO LOVE THIS HOUSE

Bob & Jenny Owner  
765 Brooklyn Dr.  
Anytown, FL 32953

Project No.  
00000000

FIELD CONDITIONS, PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED.  
IF THESE PLANS ARE USED FOR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR  
ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSIDERED.

A4 ELEVATION VIEWS  
FRONT & RIGHT

Scale ◆ 1/4" = 1'

PAGE NO

10



19'-6.25" o.f.f.  
Header Height  
18'-2.25" o.f.f.  
Header Height

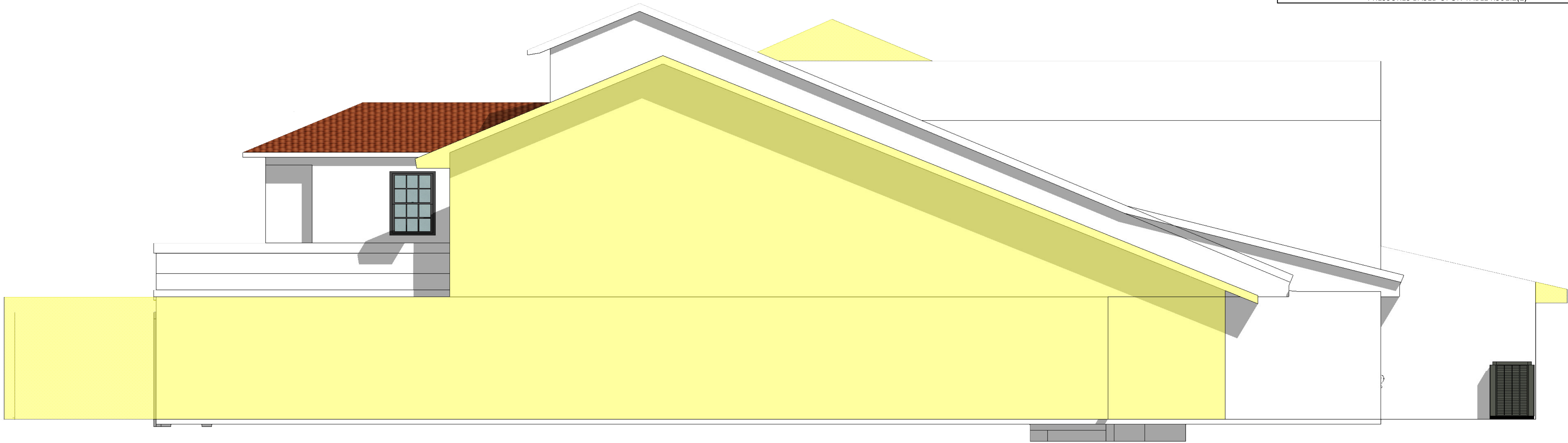
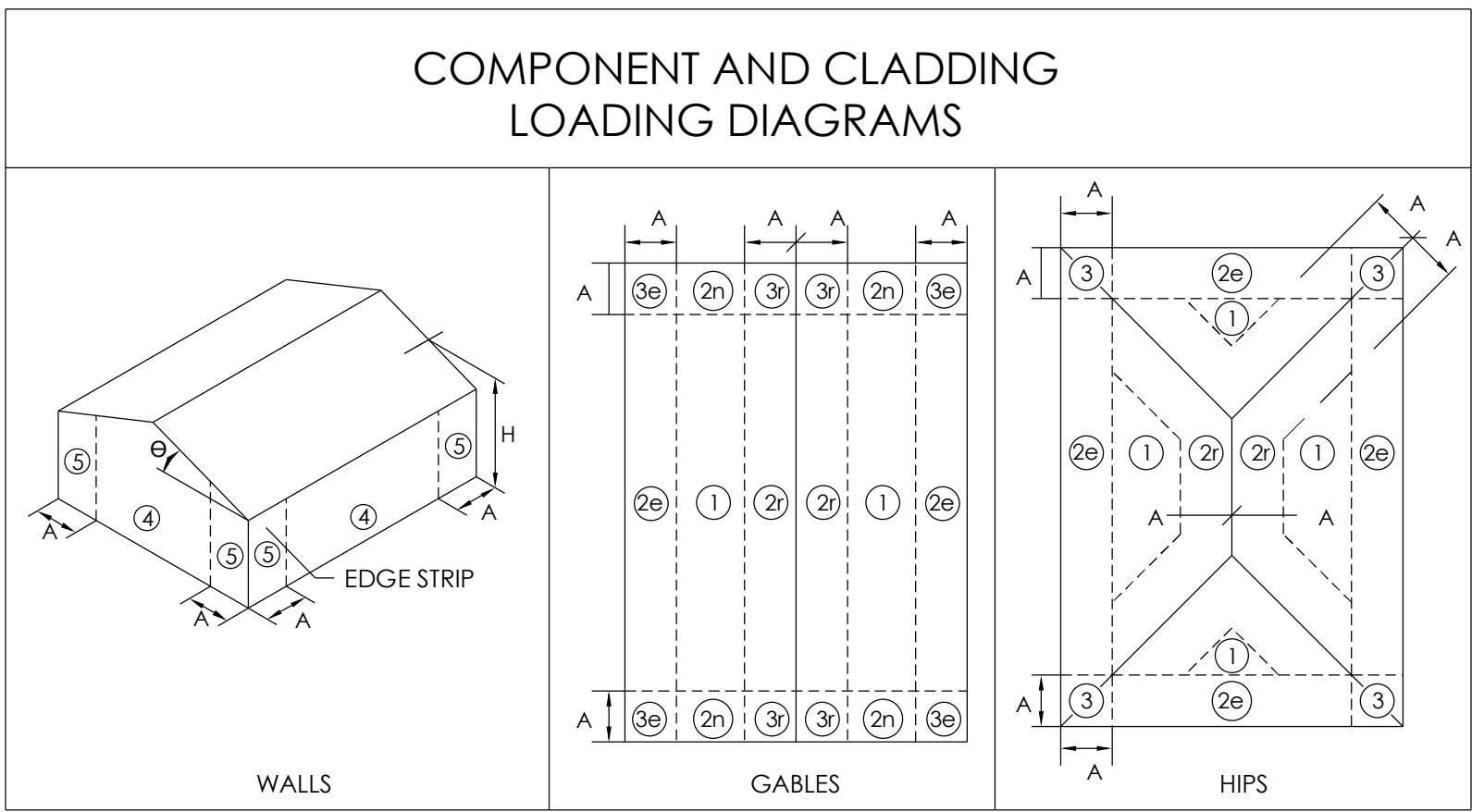
9'-6.25" o.f.f.  
2nd Fl. Finished  
Floor Height  
8'-0" o.f.f.  
Bearing Height

6'-8" o.f.f.  
Header Height

0'-0" o.f.f.  
Finished Floor  
0'-4" b.f.f.  
Garage Level @  
Back Wall  
Ex. Lonal Level  
1'-5.5" b.f.f.  
Bar Area Floor  
Level

Front Elevation

COMPONENTS & CLADDING PRESSURES TABLE				
ALLOWABLE STRESS DESIGN - 150 MPH ULTIMATE				
EXP. C, GABLE ROOF ANGLE: 20° <θ<27° (4.4-6:12)				
MEAN ROOF HT H <= 25' INTERNAL PRESS COEFF: ±0.18				
ZONE	LOCATION	WIND AREA (ft2)	PRESSURE (psf)	
1	ROOF	SF <= 10	24.4	-46.7
		SF >= 20	21.0	-46.7
	INTERIOR	SF >= 50	16.6	-39.6
		SF >= 100	13.5	-34.1
2	ROOF	SF <= 10	24.4	-74.5
		SF >= 20	21.0	-65.3
	EDGE	SF >= 50	16.6	-53.0
		SF >= 100	13.5	-43.8
3	ROOF	SF <= 10	24.4	-88.2
		SF >= 20	21.0	-74.5
	CORNER	SF >= 50	16.6	-55.0
		SF >= 100	13.5	-55.0
4	WALL	SF <= 10	32.8	-35.5
		SF >= 20	31.3	-34.1
		SF >= 50	29.2	-32.1
		SF >= 100	27.8	-30.6
5	WALL	SF >= 500	24.4	-27.2
		SF <= 10	32.8	-43.8
	CORNER	SF >= 20	31.3	-40.9
		SF >= 50	29.2	-36.9
		SF >= 100	27.8	-34.1
		SF >= 500	24.4	-27.2
PRESSURES BASED UPON TABLE R301.2(2)				



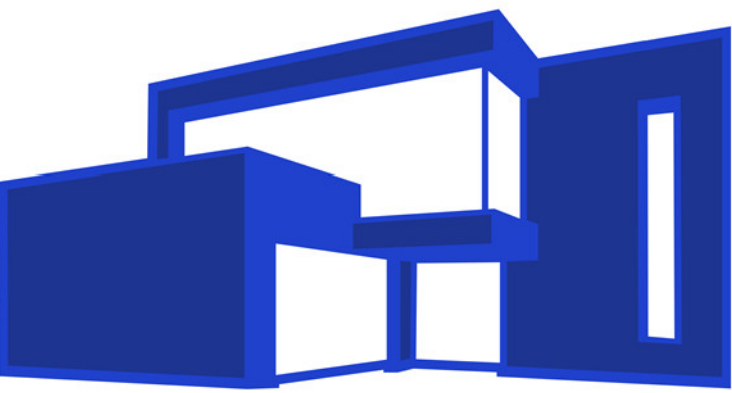
19'-6.25" o.f.f.  
Header Height  
18'-2.25" o.f.f.  
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2nd Fl. Finished  
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Finished Floor  
0'-4" b.f.f.  
Garage Level @  
Back Wall  
Ex. Lonal Level  
1'-5.5" b.f.f.  
Bar Area Floor  
Level

Right Elevation



ARMISTEAD DESIGN INC

STRUCTURAL ONLY

675 Pen Drive  
Meritt Island, Florida 32952  
Phone: (321) 454-6499  
www.ArmisteadDesign.com

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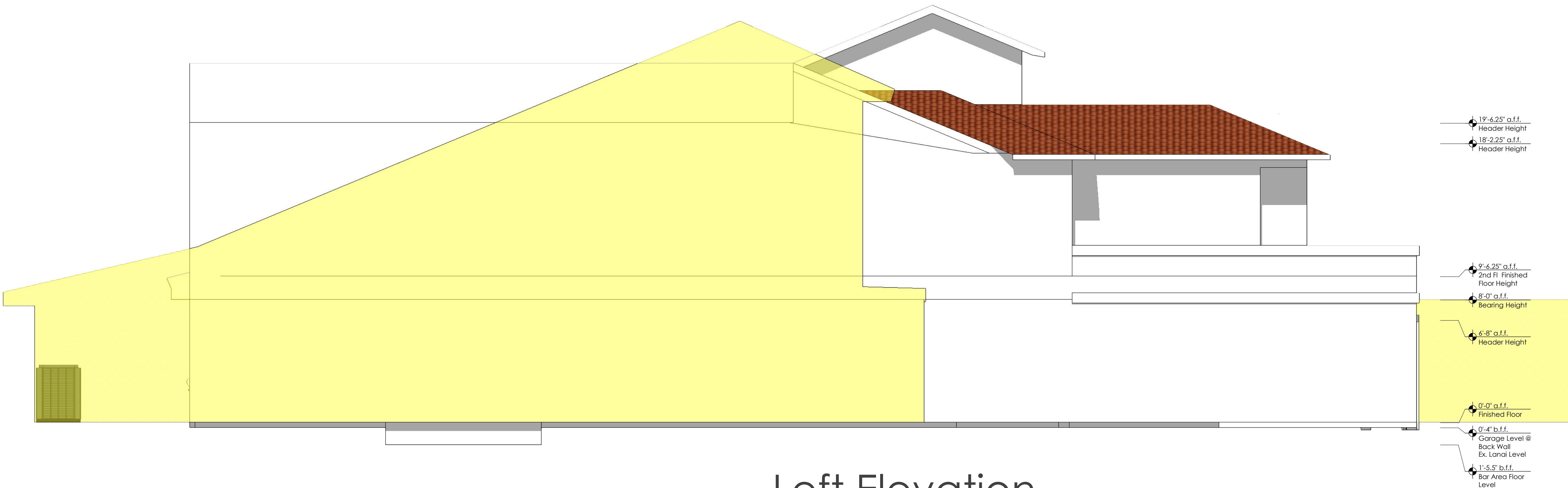
A5 ELEVATION VIEWS  
REAR & LEFT

Scale    ◆    1/4" = 1'

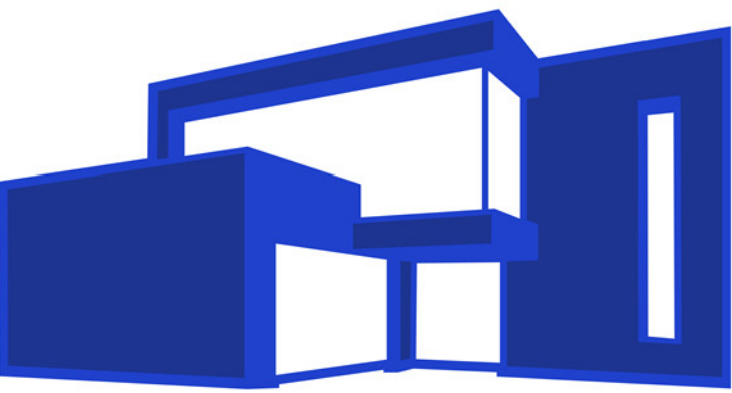
PAGE NO



Rear Elevation



Left Elevation



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625 Pen Drive  
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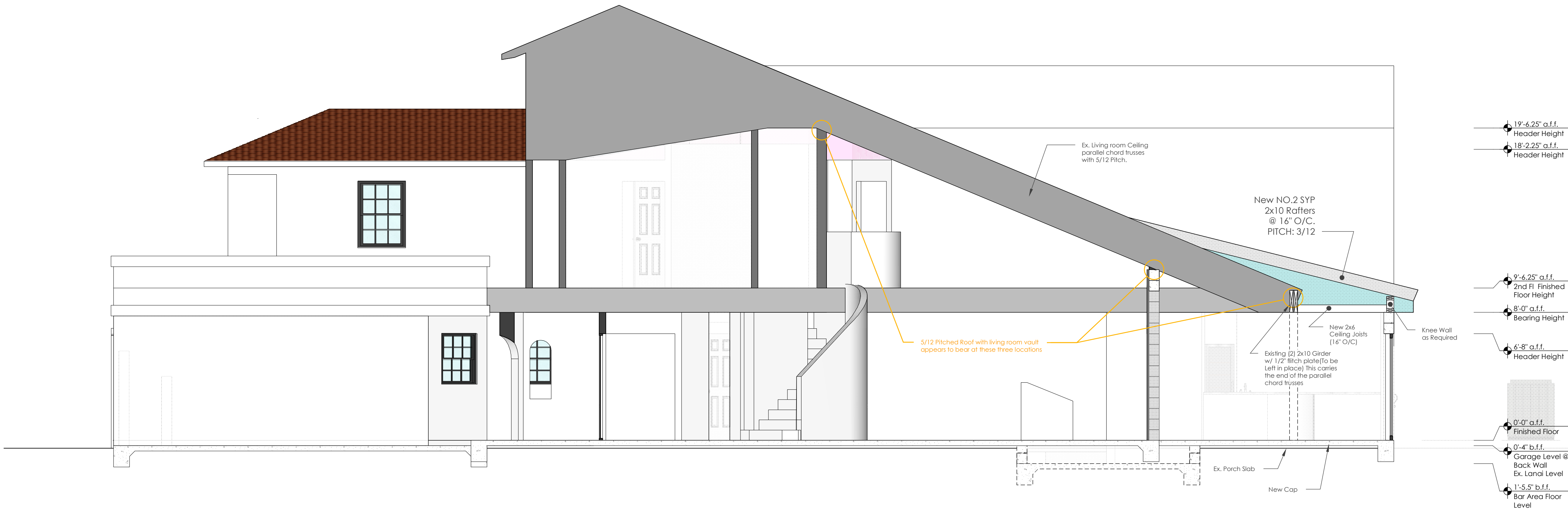
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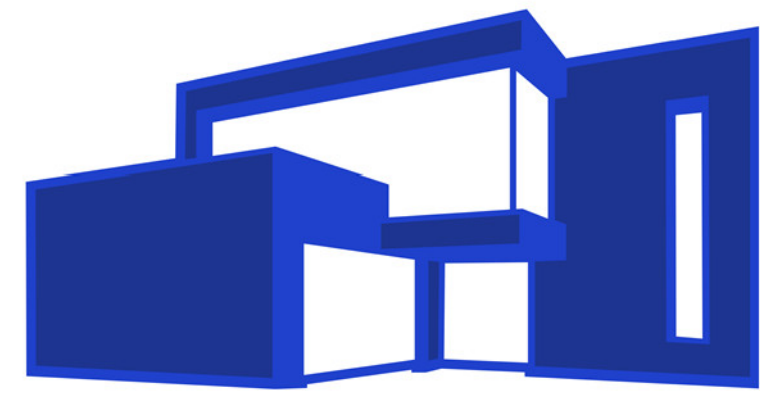
X1 CROSS SECTIONS

Scale NTS

PAGE NO



Right X-Section



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Project  
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Electrical Contractor: \_\_\_\_\_  
E.C. Address: \_\_\_\_\_  
E.C. License #: \_\_\_\_\_  
Add: \_\_\_\_\_

DRAWINGS DO NOT REQUIRE ENGINEERING SEAL IF  
SYSTEM IS UNDER \$125K & 600A (ELEC-RESIDENTIAL);  
15 TONS OR LESS THAN 100 PEOPLE (HVAC); & 250  
FIXTURE UNITS (PLUMBING), & DESIGNED BY A STATE  
LICENSED CONTRACTOR. (F.S. 471.003(2)(b)1&2).  
(THIS DRAWING SHEET IS NOT SIGNED AND SEALED)

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E1 ELECTRICAL PLAN

Scale 1/4" = 1'

PAGE NO

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## Electrical General Notes

1. All work shall comply with the current National Electrical Code and must comply with local utility requirements for service connections.
2. Conduit that penetrates wall must be sealed. Wall surfaces that are disturbed shall be repaired and painted to match the existing surface.
3. All electrical equipment and equipment with electrical circuits shall be grounded in accordance with NFPA 70 Article 250.
4. All electrical equipment and enclosures, raceways, and HVAC equipment shall be effectively grounded to ensure personal safety.
5. All non-current carrying metallic parts shall be grounded. The equipment grounding conductor shall be bonded to all enclosures and boxes which it terminates in or passes through.
6. Water pipes or metal structures entering the building from the outside shall be grounded.
7. Provide telephone outlets & Cable TV outlets at client specified locations.
8. All 15a and 20a, 120v branch circuits must be protected by a listed AFCI device per NEC Article 210.12.
9. Install tamper resistant receptacles where required by NEC Article 406.12.

## Electrical Legend

	Switch
	Dimmer switch
	3 Way Switch
	4 Way Switch
	110V Receptacle (See Notes 8 & 9)
	110V Quad Receptacle (See Notes 8 & 9)
	Ground Fault Rec.
	Water Proof Ground Fault Rec.
	220V Receptacle
	110V Floor Mounted Rec.
	110V Ceiling Mounted Rec.
	Light Bar
	Pendant Light
	Smoke Alarm (Interconnected)
	Carbon Monoxide Alarm
	Light Fixture
	Wall Mount Sconce/Uplight
	Recessed Fixture
	Disconnect
	Vent Fan
	Vent Fan/Light Combo
	Main Panel
	Power Riser
	Junction Box
	LED Light
	Flood Lights
	Ceiling Fan
	New Electric
	Existing Electric

Electrical Load Calculation		
<b>General Load</b>		
2937sf at 3VA	20A /12ga	8,811VA
Small Appliance (4 @ 1500VA)	20A /12ga	6,000VA
Washer	20A /12ga	1,500VA
Dryer	30A /10ga	5,000VA
Disposal	20A /12ga	500VA
Refridgerator	20A /12ga	1,600VA
Dishwasher	20A /12ga	1,200VA
Water Heater	30A /10ga	4,500VA
Range	50A/8ga	12,000VA
General Load		41,111VA
First 10kVA at 100%		10,000VA
Remainder at 40%		12,444VA
Sub-Total General Load		22,444VA
<b>Air Conditioning (x2)</b>		
Rated Total		20,000VA
Rated Total		42,444VA
Calculated Load	Rated Total/240V=	177A

